

MAUI ISLAND PLAN

What is a Comprehensive Plan?

The County of Maui is commencing its work with the Maui Planning Commission to review the Maui Island Comprehensive Plan. Comprehensive planning has gained national attention in recent years with the adoption of growth management and “Smart Growth” approaches, and wide-sweeping efforts towards sustainability initiatives. The Maui Island Plan 2030 will be designed to incorporate urban and rural growth boundaries and a variety of growth management tools to meet the requirements of legislation codified as MCC 2.80B. It is our hope that this plan also responds to local needs and desires.

What is a Comprehensive Plan?

A Comprehensive Plan helps guide the type, location, and appearance of growth and preservation in a community, generally over the next 20 years. It is not the same as a zoning ordinance or zoning map, which are tools often used to help implement the Comprehensive Plan. More specifically, the Maui Island Plan:

- Includes a vision statement which references the island’s economy, land use patterns, environmental and cultural resources, and social environment, and guiding principles.
- Indicates local goals and policies for future growth and an action plan for their implementation over the planning period.
- Covers each of the required elements (*Issues and Opportunities; Population, Natural and Cultural Resources; Land Use; Transportation; Housing; Economic Development; Public and Community Facilities; Visitor Destinations; Urban Design; Water, Nearshore Ecosystems; and Implementation*).
- Includes maps, graphics, and text describing current and desired future conditions.
- Provides recommendations for future roads, utilities, parks, and community facilities.
- Includes strategies for farmland, forest, and natural area preservation.
- Provides a managed and directed growth plan with policies and maps for how future development should appear.
- Includes strategies for job and tax base growth.
- Is guided by a public participation plan that ensures public input opportunities throughout the planning process.

Once adopted, a Comprehensive Plan can . . .

- Lead to consistent day-to-day decision making on land development and redevelopment issues.
- Help balance community goals with private interests in land use.
- Manage growth/redevelopment so that it does not occur in a haphazard pattern.
- Help spend public money wisely and grow effectively so that service costs do not result in a heavy tax burden on property owners.

- Help preserve the character and resources of the area.

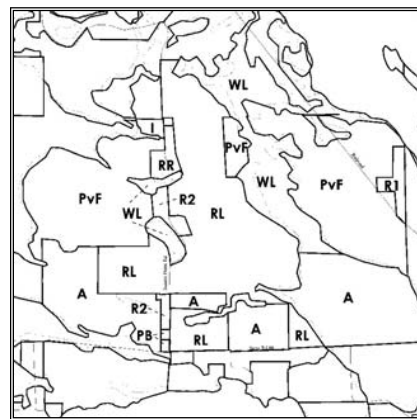
What is the difference between a Future Land Use Map and a Zoning Map?

A comprehensive plan attempts to define community goals based on a combination of technical data, the desires of the public, and the wishes of private property owners. Included among its recommendations is a future land use map. This map expresses desires for future land uses for all parts of the community. After the County adopts the plan, it should be put in motion or implemented. Zoning is one (but not the only) tool that may be used to implement a plan. Different zoning districts may be mapped to realize the community land use desires expressed in the future land use policies and maps.

Local Future Land Use Map



Local Zoning District Map



What is involved with the County's comprehensive planning legislation?

In 2002, the County adopted landmark legislation affecting the way Maui's communities plan for and regulate regional growth. The law changed the process and content requirements for developing the General and Community plans. To be considered a valid comprehensive plan under the new legislation, a document must include the following plan elements—*Issues and Opportunities; Population, Natural and Cultural Resources; Land Use; Transportation; Housing; Economic Development; Public and Community Facilities; Visitor Destinations; Urban Design; Water, Nearshore Ecosystems; and Implementation*). The Maui Planning Commission is tasked to provide recommendations on the plan to the Maui County Council within six months of the first public hearing on the Maui Island Plan.

How will the planning process balance private property rights and community interests?

Private property rights protection is identified as a key issue to consider throughout the planning process. One of the primary objectives of the General Plan law is making the planning process more accessible to property owners by developing comprehensive plans in an open, democratic process where there are ample opportunities for citizens and landowners to provide their input and perspective on various land-related issues. The law also gives property owners greater certainty about what they can do with their property by requiring all local land use decisions to be consistent with the goals in the local comprehensive plan.

PLANNING COMMISSIONER'S PRIMER FOR THE MAUI ISLAND PLAN

- *What is in a plan*
- *How to evaluate a plan*

Effective Plans

Plans usually, but not always, consist of a combination of text and maps. Some plans are heavily oriented toward policy, and these usually consist primarily of text. Some are oriented toward community design and the desired physical form of the community, and these may be mostly maps, photographs and drawings. It is important that the format of the plan be suited to the community and its goals. Seaside, Florida, planned by a team of architects, relies on its physical design, and the plan consists almost entirely of drawings. In order to make the plan understandable to the public, it is a good idea to have a balance of text and graphic material (maps, drawings, photographs). Some people quickly grasp ideas expressed graphically; they are visual learners. Others are verbal; they are more likely to absorb concepts expressed as written text. Most of us learn best with a combination of the two. Some features are common to most plans.

1. Emphasis on physical development.

Communities are affected by a variety of social and economic factors, and plans should take those into account. Many plans do contain policies concerning these issues. For example, the plan may contain strategies for combating unemployment or underemployment. It may have policies regarding day care and education. At the same time, the physical development of the city is interrelated with these social and economic factors. For example, concentrating all low-income housing in a specific geographic area often leads to social problems in that neighborhood. The location of commerce and industry affects commuting time and street patterns which in turn affect the cost of building and maintaining roads.

2. Comprehensive.

The plan should include all of the physical elements of the community, and it should recognize the social and economic conditions which affect the community.

3. Realistic and practical.

The planning process offers the opportunity to dream, but the plan should recognize what is possible in a given community. It is not useful to plan for the town to become a regional employment center within 15 years if the town has no regional highway access, no sewer system, and no public water supply. The plan should be designed to build on strengths and to lessen weaknesses, and it should be developed with implementation mechanisms in mind.

4. Long-range.

While short-range strategic plans are useful for specific objectives, the comprehensive plan should be long-range. Plans are implemented over relatively long time periods. The plan should have a long-range component aimed at shaping the community for 20-25 years.

5. Easy to understand.

There are no extra points for length or weight. The plan should be as simple and as clear as possible. The text should be well written; the format should be inviting to the reader.

6. Reproducible.

Many communities have failed to take into account the cost of reproduction of the plan in sufficient quantities. Some consulting firms produce plans filled with full-color maps and photographs or use odd-sized paper. These formats are acceptable, as long as the community has the resources to print enough copies. If the planning commission intends to recover printing costs by charging for copies, the commission should consider whether the cost of a fancy report will be prohibitive for people.

7. Reflects a community consensus.

As noted previously, plans will not be implemented if they do not accurately reflect the community's goals and objectives. It must result from an effective citizen participation process. Elected officials will be reluctant to follow the plan's policies unless these officials know that the plan represents the wishes of their constituents. As the community works with the plan, and as conditions change, the planning commission will want to make changes. The commission should review the plan regularly and be prepared to initiate amendments upon its update every ten years.

Urban Growth Boundaries

A new planning solution in California to stop urban sprawl, protect open space and strengthen our neighborhoods and cities

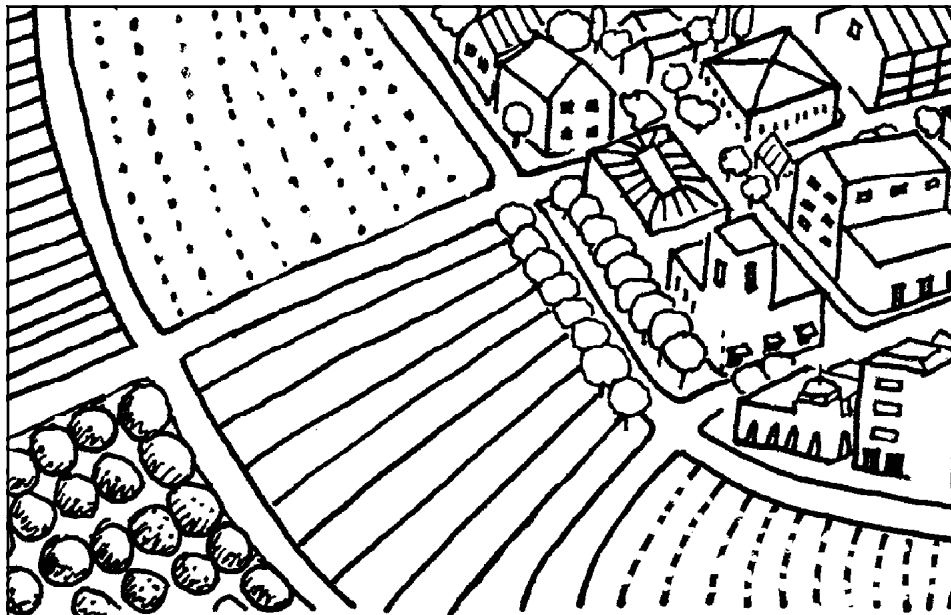
What's an urban growth boundary (UGB)?

An urban growth boundary is an officially adopted and mapped line that separates an urban area from its surrounding greenbelt of open lands, including farms, watersheds and parks. UGBs are set for significant periods of time — typically 20 years or more — to discourage speculation at the urban or suburban fringe.

Why bother with an urban growth boundary? Isn't it just another city limit line?

A UGB is more than just a line separating cities from countryside. As one urban analyst has noted, a long-term boundary is "a pro-active growth management tool that seeks to contain, control, direct or phase growth in order to promote more compact, contiguous urban development." The other key purpose of a UGB is to protect farmlands and other resource lands — like watersheds or wildlife habitat — from scattershot or low density development.

Urban growth boundaries are being considered by dozens of California communities to maintain their identity, protect open space and farmland, save tax dollars, and strengthen downtowns.



What are the advantages of establishing a UGB?

There are dozens of advantages, including: affirming your community's identity by ensuring that it doesn't merge with nearby communities • promoting urban and suburban revitalization • saving taxpayers' dollars by using public facilities more efficiently • encouraging the development of more affordable housing • stimulating community development patterns that support more accessible public transit • enabling quick open space retreats from urban centers • bringing together diverse interests — such as environmentalists, developers, and farmers — who want more certainty about which land can and cannot be developed • and encouraging long-term strategic thinking about your community's future.

How do you establish an urban growth boundary?

In California, there are two key techniques for establishing long-term

boundaries: UGB by voter approval and UGB by city council action.

What's involved in setting up a UGB by voter approval?

It's a three step process. First, you need to follow a collaborative process mapping out a UGB and including it in your community's general plan. Second, the voters must secure the UGB through initiative or referendum. Third, your community needs to work with adjacent jurisdictions to ensure that they don't violate the spirit or intent of your UGB by building in the greenbelt lands outside the boundary. Apart from these steps, it's important to reinforce the goals of your UGB policies which protect greenbelt lands beyond the boundary and facilitate development inside the UGB.

How do you establish a UGB by council action?

Establishing a UGB by council action is similar to the voter approval

(continued on reverse)

technique in requiring a thorough, collaborative process of mapping out your UGB. But rather than have it ratified by the voters, however, the boundary is secured by tough planning requirements which limit the regularity and extent to which the UGB can be modified. The UGB can be additionally secured through joint arrangements with adjacent jurisdictions.

Which is the better way to go: UGB by voter approval or council action?

If you're looking to lock in your UGB for the long term, UGB by voter approval is the better way to go. Such a UGB cannot be changed except by another vote of community residents. A UGB by council action, however, could be changed by a future council (most likely after it goes through several procedural hoops).

Does this mean you shouldn't consider a UGB by council action? Not necessarily. A UGB by council can enable cautious city officials to take the first step toward defining a real edge of their community. It sets a series of rules and standards for changing the UGB that may deter future elected officials from expanding the boundary. And it lays the groundwork for a long-term UGB by voter mandate.

Where have UGBs been tried in California?

Seventeen Bay Area communities have recently adopted UGBs. Voter approved UGBs have been adopted in Cotati (71% of the vote), Healdsburg (71%), Milpitas (55%), Napa (77%), Novato (70%), Petaluma (79%), Pleasanton (75%), Santa Rosa (59%), Sebastopol (66%), and Windsor (72%). Communities which have adopted UGBs by council action include Benicia, San Jose, Cupertino, Los Gatos, Morgan Hill, Monte Sereno, and Palo Alto. Other California communities which claim UGBs by council action are Santa Barbara and Modesto.

UGBs can mean a green retreat for families and children — not far from home!



Are there UGBs outside of California?

Lots of them. Internationally, many people look to England as the home of "Green Belts" and urban growth boundaries. London is surrounded by a boundary and a 900 square mile Green Belt. Copenhagen is surrounded by a boundary and "green wedges" of open space. Vancouver, British Columbia, has drawn long-term boundaries, encouraged infill development and protected a "green zone" of farmlands and other open space.

In the U.S., there are two states which require each community to draw long-term UGBs: Oregon and Washington. Several other local jurisdictions have fixed long-term boundaries (like Boulder, Colorado) while others utilize UGBs on a voluntary basis. One of the most prominent is Lancaster County, Pennsylvania, which combines its UGB with strong agricultural zoning requirements and one of the nation's most aggressive purchase of development rights (PDR) programs.

Has the experience with UGBs been successful?

The best place to look for evidence of how UGBs have done is Portland, Oregon — a major American metro-

politan region with a UGB in place since the late 1970s. On the whole, the UGB has been a huge success. It has helped protect huge swaths of forest and farm land at the region's edge. It has helped increase the amount of housing planned inside the UGB — from 129,000 homes to 300,000 homes. And it has helped revitalize Portland's downtown.

The boundary and its accompanying land use program are so successful that it has the support of a wide array of interests, including the Sierra Club, the Oregon Homebuilders Association, high tech businesses and the state farm bureau. Early in the program's life, there were three statewide ballot measures to eliminate the land use program. Each failed by progressively larger margins.

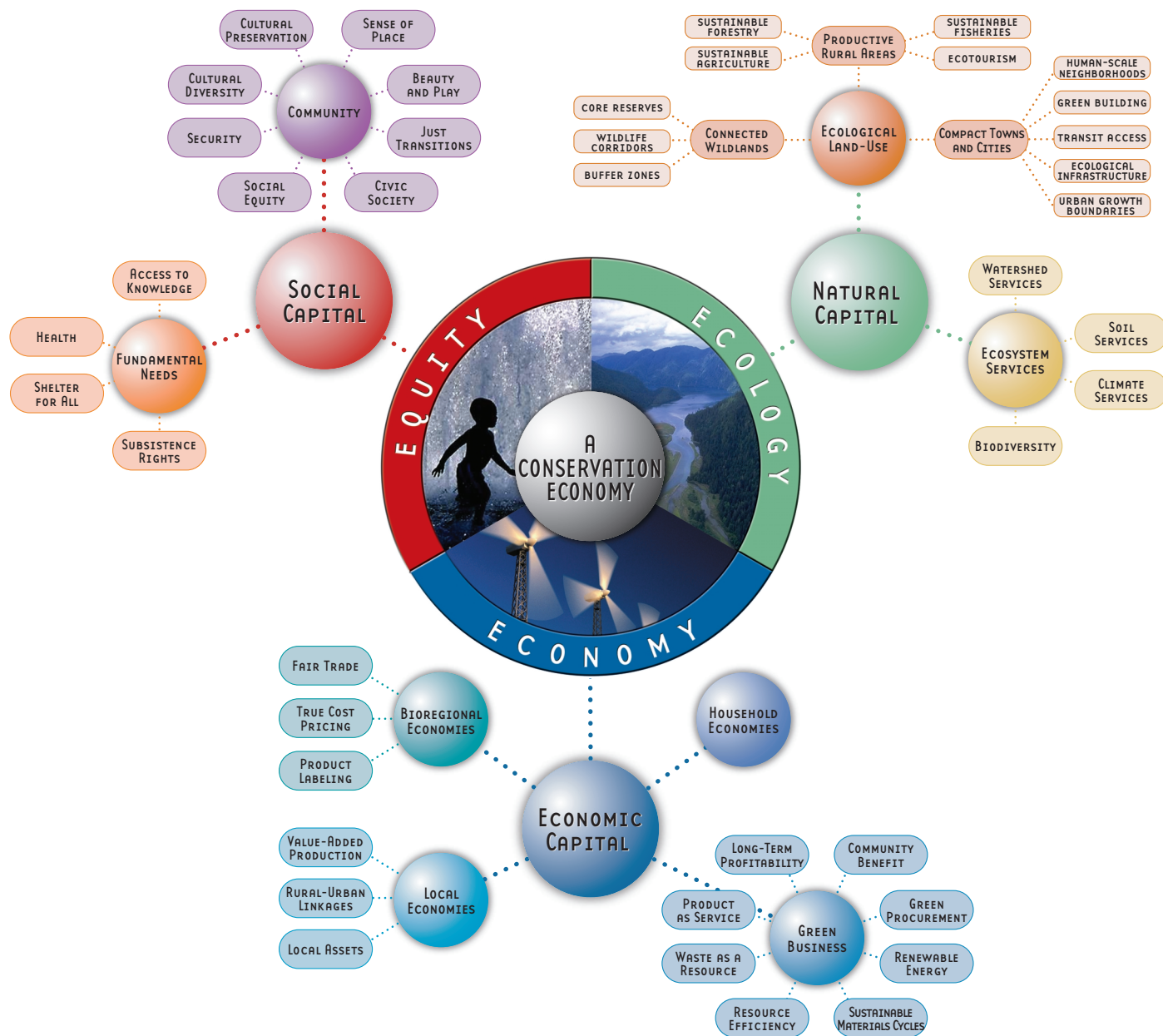
Where Can I Get More Info?

Contact Greenbelt Alliance for a copy of *Bound for Success*— a terrific 75 page guide on how to establish a UGB around your community.


PEOPLE FOR OPEN SPACE

What does a sustainable society look like?

This **Pattern Map** offers a visual guide to the building blocks – or “patterns” – that provide a framework for the evolving language of sustainability. We call it a Conservation Economy. Visit www.ConservationEconomy.net for detailed descriptions, case studies, and links related to each of these patterns.



LEARN MORE:

WWW.CONSERVATIONECONOMY.NET

info@conservationeconomy.net

